

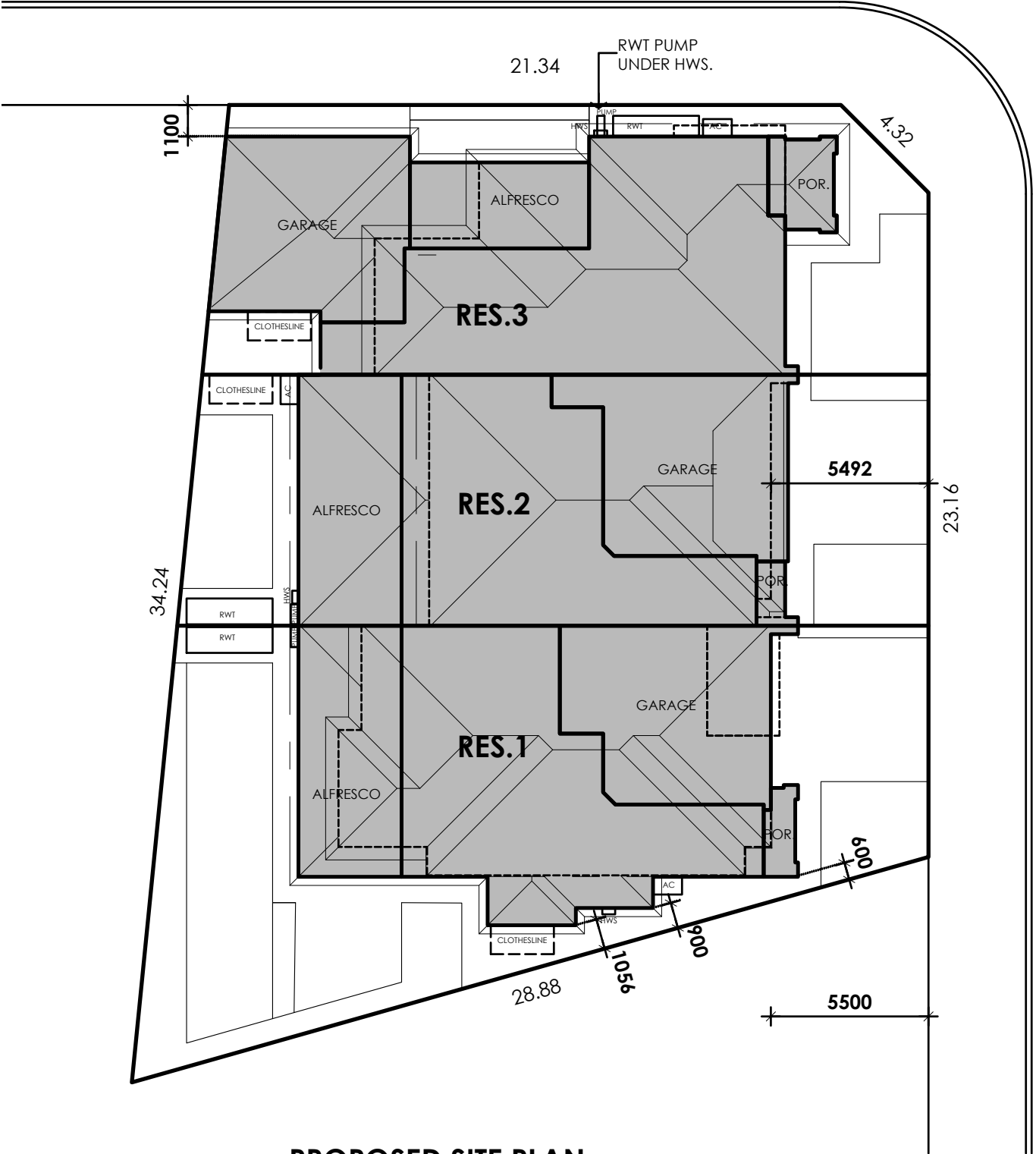


The site plan illustrates a proposed double storey development consisting of three row dwellings, labeled RES.1, RES.2, and RES.3. The dwellings are arranged in a row, with RES.1 at the bottom, RES.2 in the middle, and RES.3 at the top. Each dwelling includes a garage, an alfresco area, and a porch. The plan also shows various setbacks, including a 21.34m setback on the top boundary, a 4.32m setback on the top right corner, a 23.16m setback on the right boundary, a 28.88m setback on the bottom boundary, and a 34.24m setback on the left boundary. Landscaping is indicated by green circles and lines, particularly along the left and right boundaries and around the dwellings. Other features include a clothesline, bins, and a pump. The overall layout is designed to maximize the use of the site while maintaining appropriate setbacks and landscaping.

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PROPOSED 3 X TWO STOREY ROW DWELLINGS		<div>QUADRANT DRAFTING architectural drafting service</div> <div>M: 0432 364 496 E: quadrant@outlook.com.au P.O. Box 127 Woodcroft SA 5162 ABN: 86 881 455 409</div>		REVISION		DESCRIPTION		DATE			
CLIENT NAME: BOJACK	WIND SPEED: N1 - 28M/S										
SITE ADDRESS: 638 BURBRIDGE ROAD WEST BEACH	ROOF PITCH: 22°47'										
	CORROSION ZONE: N/A										
COUNCIL: CHARLES STURT TITLING: TORRENS	BUSHFIRE: N/A	DRAWING TITLE: COVER SHEET SCALE: N.A.		JOB No: QD1268 SHEET:	DRAWN BY: RP	ISSUE DATE: 11.02.2019		<div></div>		<div>WORKING DRAWINGS Issued for Construction</div> <div>Client.....Builder.....Date / /</div>	

SNOWDON STREET



PROPOSED SITE PLAN

SCALE 1 : 200

RES 3:

Building Areas: (m²)

Site Area..... 229.0

Lower Living..... 89.7
Upper Living.....104.4
Garage..... 41.6
Porch..... 7.2
Alfresco..... 18.8
Balcony..... 5.5

Total Building Area: 267.2

Private Open Space.... 33.0

RES 2:

Building Areas: (m²)

Site Area..... 225.0

Lower Living..... 72.8
Upper Living..... 104.5
Garage..... 42.6
Porch..... 2.7
Alfresco..... 31.5

Total Building Area: 254.1

Private Open Space.... 65.0

RES 1:

Building Areas: (m²)

Site Area..... 321.0

Lower Living..... 78.1
Upper Living..... 115.9
Garage..... 42.3
Porch..... 3.6
Alfresco..... 31.5
Balcony..... 9.9

Total Building Area: 281.3

Private Open Space.... 136.0

NOTES:
STORMWATER FROM HOME TO BE DIRECTED VIA UNDERGROUND SEALED 90mm PVC PIPE TO PROPOSED RAINWATER TANK (min 1000 litres) THEN TO COUNCIL STREET WATER TABLE VIA UNDERGROUND SEALED 90mm PVC STORMWATER PIPE WITH FLEXIBLE CONNECTIONS WHERE REQUIRED

DOWNPIPES TO BE 12m(max) SPACING. RAINWATER TANK TO BE PLUMBED VIA AUTOMATED RETICULATION SYSTEM TO WC's AND/OR LAUNDRY COLD WATER TAPS

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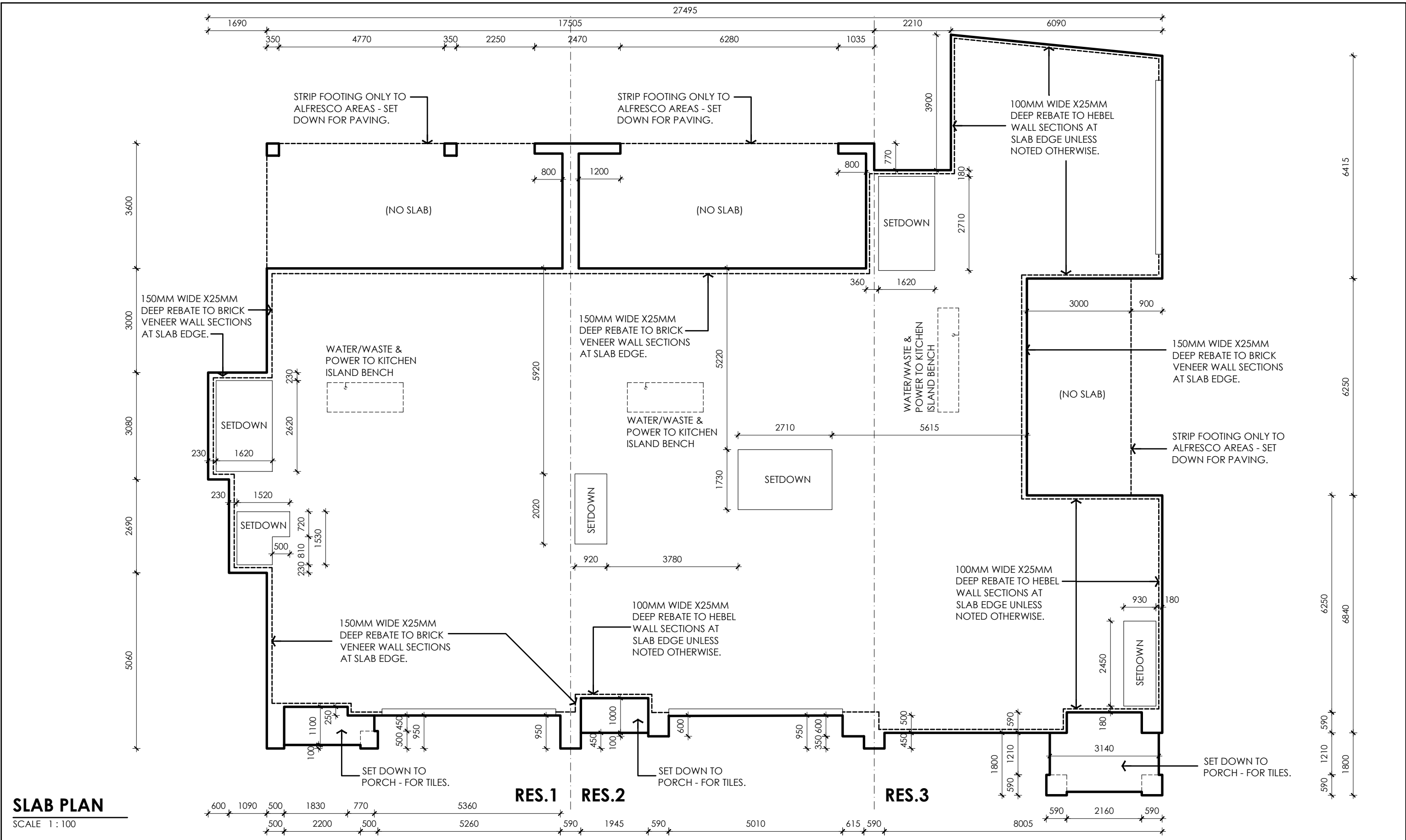
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SLAB PLAN

SCALE 1 : 100

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ABN: 86 881 455 409

DRAWING TITLE:
SLAB PLAN

SCALE: 1:100


JOB No:
QD1268

SHEET:
2 OF 17


DRAWN BY:
RP

ISSUE DATE:
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REVISION	DESCRIPTION	DATE



North

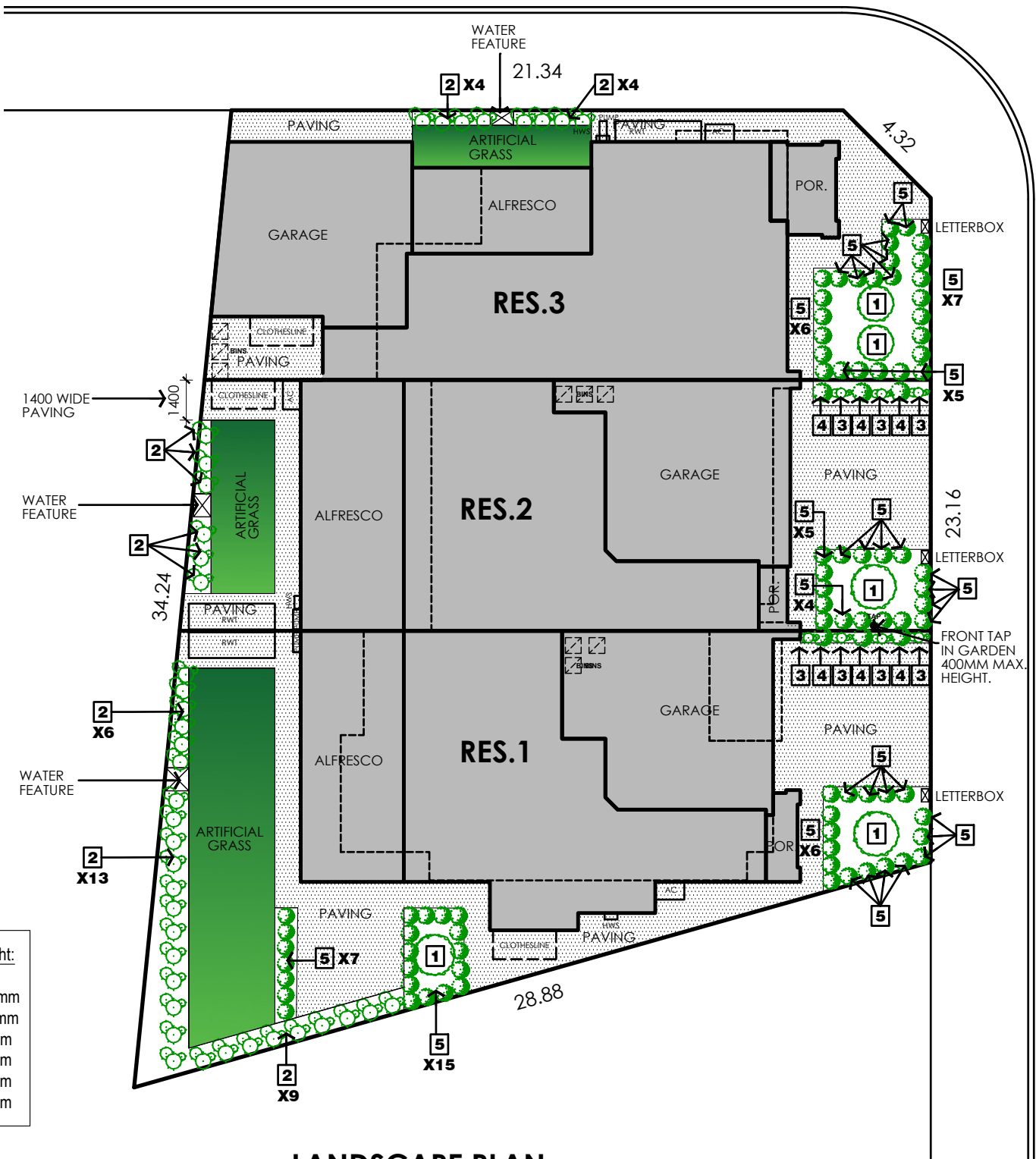


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Client.....Builder.....Date / /

SNOWDON STREET



PLANT LEGEND:	Planting Height:
1. Japanese Maple	2000mm
2. Pittosporum "Screenmaster"	1500mm
3. Liriope	200mm
4. Nandina Domestica	300mm
5. English Box	300mm
6. Dianella	300mm

LANDSCAPE PLAN

SCALE 1 : 200

RES 3:

Building Areas: (m²)

Site Area..... 229.0

Lower Living..... 89.7
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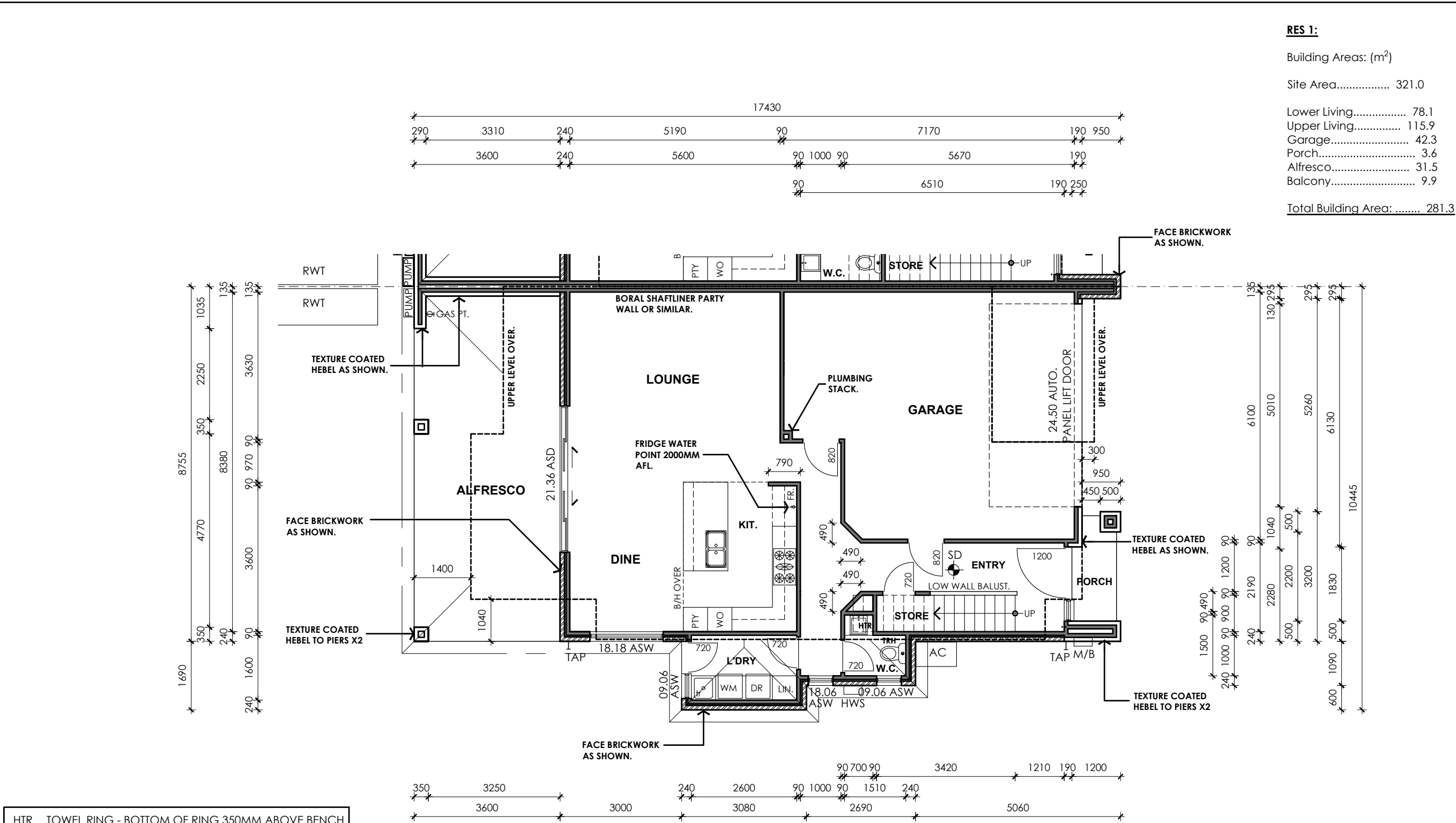
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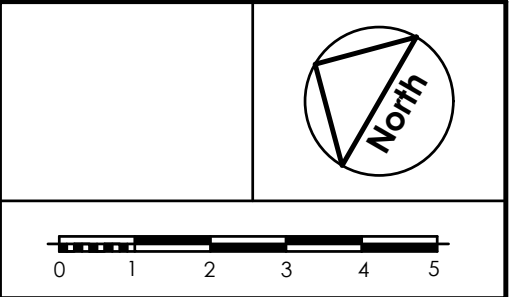


HTR TOWEL RING - BOTTOM OF RING 350MM ABOVE BENCH
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✱ M BATH MIXER TAP
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DRAWING TITLE: LOWER FLOOR - R1	JOB No: QD1268	DRAWN BY: RP
SCALE: 1:100	SHEET: 4 OF 17	ISSUE DATE: 11.02.2019

REVISION	DESCRIPTION	DATE



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BACK BLOCK ALL JOINTS IN GARAGE CEILINGS

STAIR NOTE

IN COMPLIANCE WITH PART 3.9.1 OF BCA STAIRS TO BE CONSTRUCTED BY TOP STAIRS MANUFACTURE AND COMPLY WITH THE FOLLOWING:

STAIRS ARE TO COMPLY WITH BUILDING CODE OF AUSTRALIA

MAX. OF 18 RISERS TO EACH FLIGHT. RISERS MUST NOT ALLOW 125MM SPHERE TO PASS THROUGH.

RISER DIMENSIONS: MAX. 190MM, MIN.115MM

GOING DIMENSIONS: MAX.355MM, MIN.240MM

CARPET FINISH TO MDF STAIR FOR NON-SLIP FINISH.

BALUSTRADE NOTE

IN COMPLIANCE WITH PART 3.9.2 OF BCA BALUSTRADES ARE REQUIRED WHERE THE LEVEL IS GREATER THAN 1M ABOVE THE GROUND BELOW.

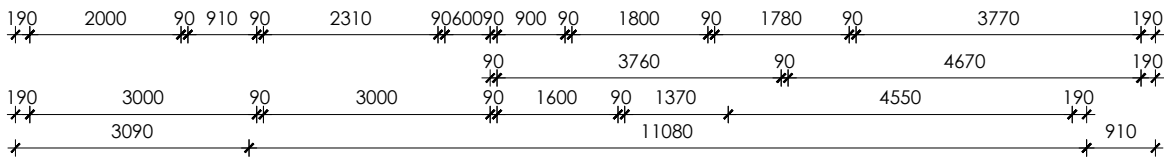
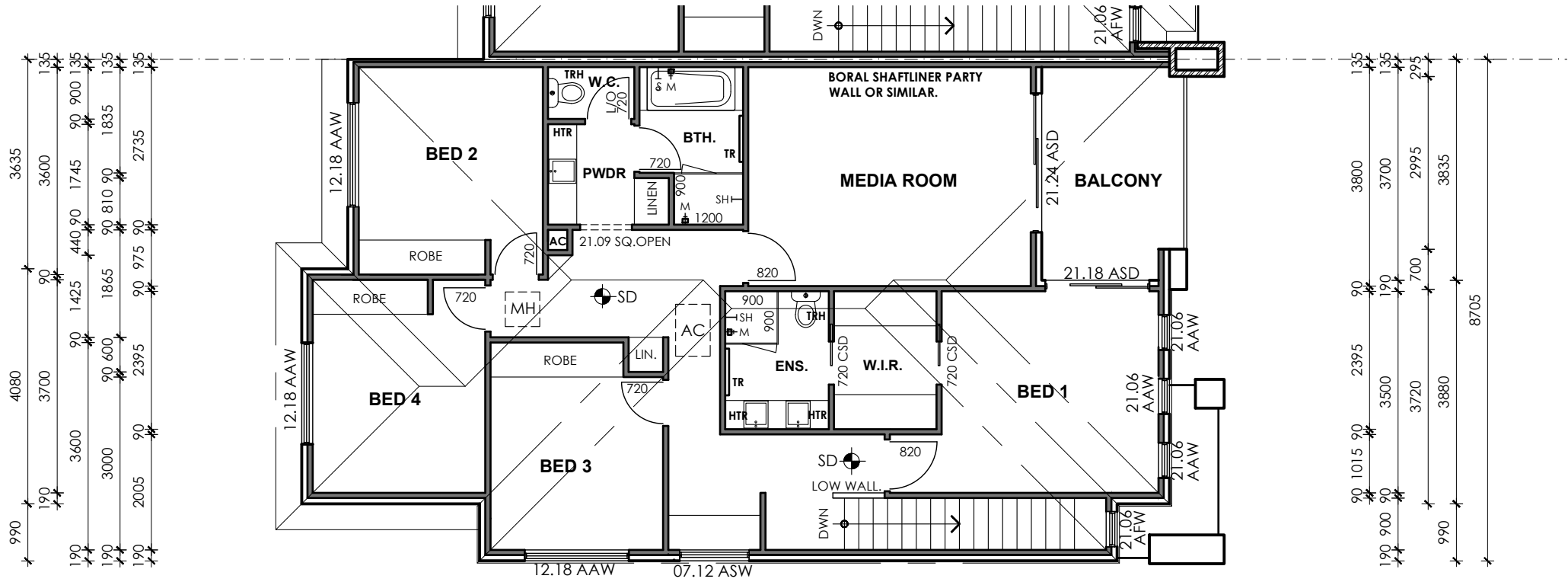
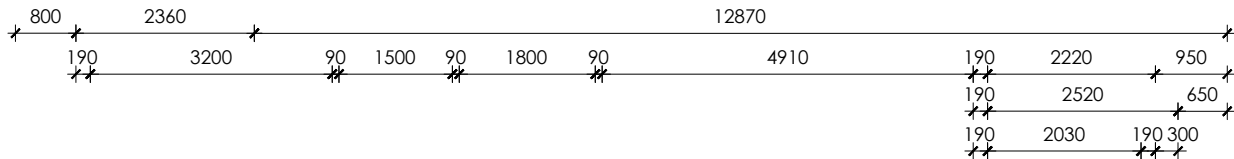
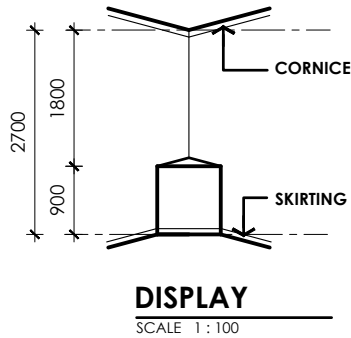
MUST NOT BE LESS THAN 865MM ABOVE THE NOSING OF THE STAIR TREAD OR RAMP. 1M ABOVE THE DECKING FLOOR.

OPENINGS IN A BALUSTRADE MUST NOT PERMIT A 125MM SPHERE TO PASS THROUGH IT.

STAIR CASE HANDRAIL MUST EXTEND THE FULL LENGTH (CONTINUOUS).

HANDRAIL NOTE

HANDRAIL DESIGN AND CONSTRUCTION TO COMPLY WITH PART 3.9.2 OF B.C.A.



- HTR TOWEL RING - BOTTOM OF RING 350MM ABOVE BENCH
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UPPER FLOOR - RES.1

SCALE 1:100

RES 1:

Building Areas: (m²)

Site Area..... 321.0

Lower Living..... 78.1

Upper Living..... 115.9

Garage..... 42.3

Porch..... 3.6

Alfresco..... 31.5

Balcony..... 9.9

Total Building Area: 281.3

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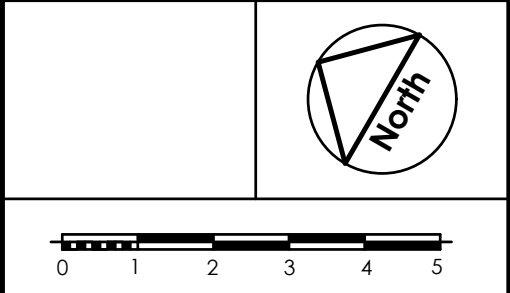
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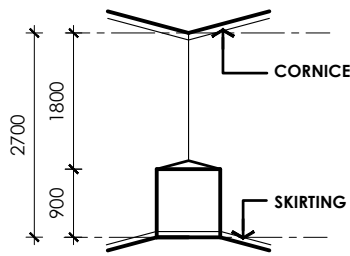
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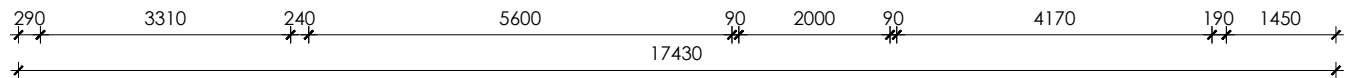
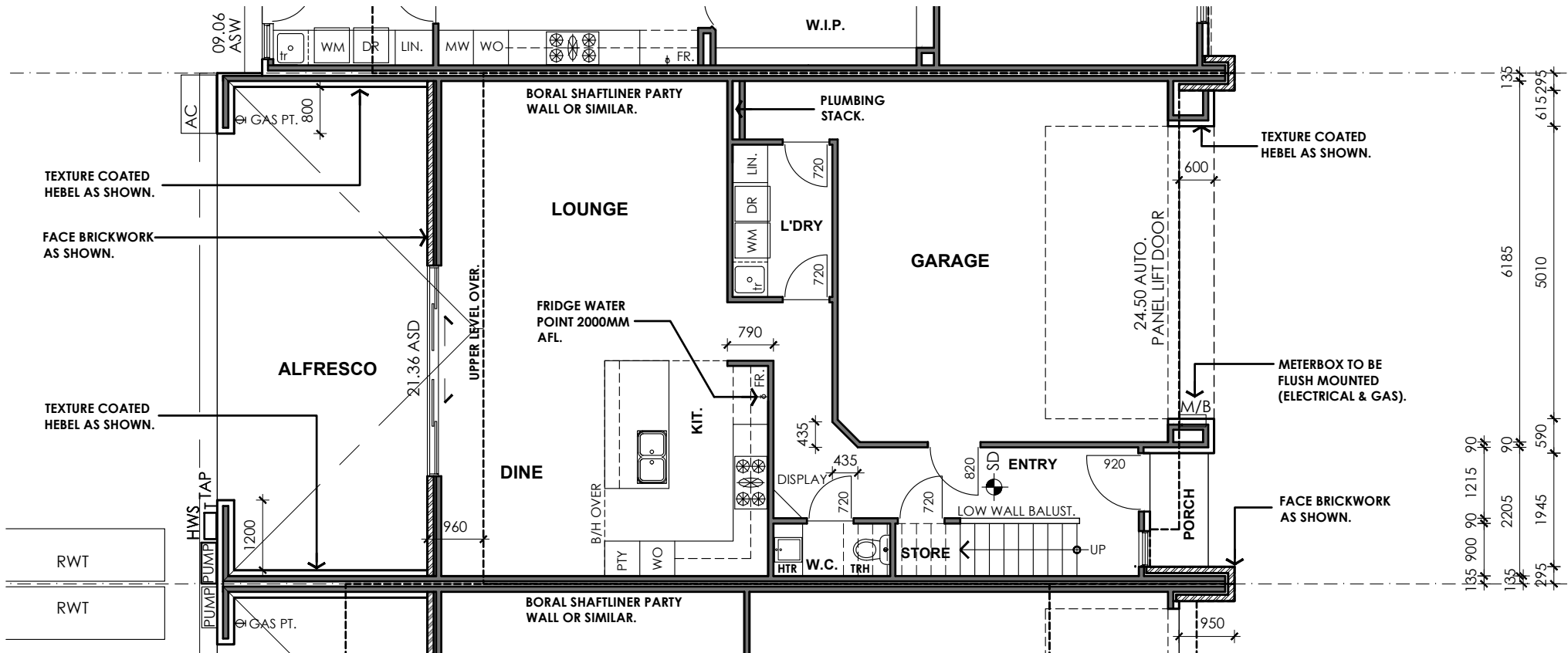
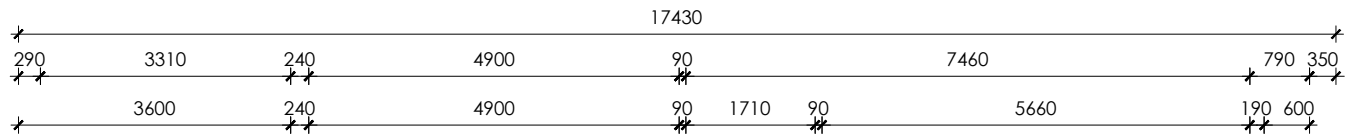
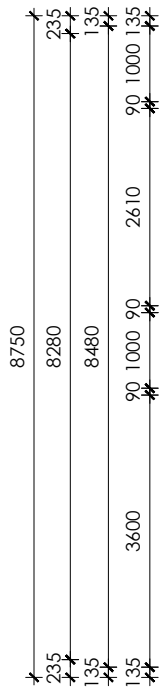
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SCALE 1:100



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LOWER FLOOR - RES.2

SCALE 1:100

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ALL WINDOW FRAMES AND GLAZING IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND TO AS1170, AS1288 and AS2047 and ENERGY RATING ASSESSMENT

ALL CONSTRUCTION, TIMBER FRAMING, TIE DOWNS AND FIXINGS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, THE TIMBER FRAMING CODE AS1684.2 2010

ALL WET AREA DETAILS TO BE IN ACCORDANCE WITH AS3740-2004, BCA - TABLE 3.8.1.1 WITH FLEXIBLE CONNECTIONS TO SEWER AND DRAINAGE PIPES WHERE REQUIRED

WATERPROOFING MEMBRANE MATERIALS, DESIGN AND INSTALLATION FOR EXTERNAL ABOVE GROUND USE SHALL BE IN ACCORDANCE WITH AS4654-2012 PARTS 1 AND 2

WC DOOR TO BE REMOVEABLE (OR SLIDING CAVITY DOOR).

ALL MEASUREMENTS TO BE CHECKED ON SITE BEFORE ANY CONSTRUCTION WORK COMMENCES

THERE ARE NO BRUSH FENCES WITHIN 3m OF PROPOSED DWELLING

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT APPROVAL FROM THE OWNER AND/OR DESIGNER

WHEN BUILDING TO THE BOUNDARY IT IS THE OWNERS AND BUILDERS RESPONSIBILITY TO CORRECTLY IDENTIFY PROPERTY BOUNDARIES


GROUND AND FLOOR LEVELS INDICATIVE ONLY AND ARE TO BE CONFIRMED ON SITE OR BY ENGINEER IN CONJUNCTION WITH ANY SURVEY PLANS AVAILABLE

ALL INTERNAL DIMENSIONS ARE TIMBER FRAME DIMENSIONS ONLY, FINISHED ROOM SIZES WILL VARY SLIGHTLY TO ACCOMMODATE PLASTERBOARD, TILES ETC.

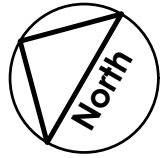
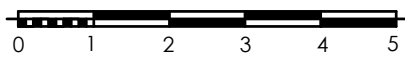
CEILING NOTE

PROVIDE CONTROL JOINTS (CJ) AT NO GREATER THAN 12.0M CENTRES TO INTERNAL CEILINGS.(NOTED CJ ON PLANS). PROVIDE CONTROL JOINTS AT NO GREATER THAN 6.0M CENTRES TO EXTERNAL CEILINGS. PROVIDE EXTRA TRIMMERS BETWEEN JACK TRUSSES/RAFTERS TO GARAGE CEILINGS WHERE ROOF FRAMING CHANGES DIRECTION. BACK BLOCK ALL JOINTS IN GARAGE CEILINGS

PROPOSED 3 X TWO STOREY ROW DWELLINGS	
CLIENT NAME: BOJACK	WIND SPEED: N1 - 28M/S
SITE ADDRESS: 638 BURBRIDGE ROAD WEST BEACH	ROOF PITCH: 22°47'
COUNCIL: CHARLES STURT TITLING: TORRENS	CORROSION ZONE: N/A
	BUSHFIRE: N/A

 architectural drafting service		
M: 0432 364 496 E: quadrant@outlook.com.au P.O. Box 127 Woodcroft SA 5162 ABN: 86 881 455 409		
DRAWING TITLE: LOWER FLOOR - R2 SCALE: 1:100	JOB No: QD1268 SHEET: 6 OF 17	DRAWN BY: RP ISSUE DATE: 11.02.2019

REVISION	DESCRIPTION	DATE

<div>WORKING DRAWINGS Issued for Construction</div>
Client.....Builder.....Date / /

RES 2:

Building Areas: (m²)

Site Area..... 225.0

Lower Living..... 72.8

Upper Living..... 104.5

Garage..... 42.6

Porch..... 2.7

Alfresco..... 31.5

Total Building Area: 254.1

NOTES:
STORMWATER FROM HOME TO BE DIRECTED VIA UNDERGROUND SEALED 90mm PVC PIPE TO PROPOSED RAINWATER TANK (min 1000 litres) THEN TO COUNCIL STREET WATER TABLE VIA UNDERGROUND SEALED 90mm PVC STORMWATER PIPE WITH FLEXIBLE CONNECTIONS WHERE REQUIRED

DOWNPipes TO BE 12m(max) SPACING. RAINWATER TANK TO BE PLUMBED VIA AUTOMATED RETICULATION SYSTEM TO WC's AND/OR LAUNDRY COLD WATER TAPS

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THERE ARE NO BRUSH FENCES WITHIN 3m OF PROPOSED DWELLING

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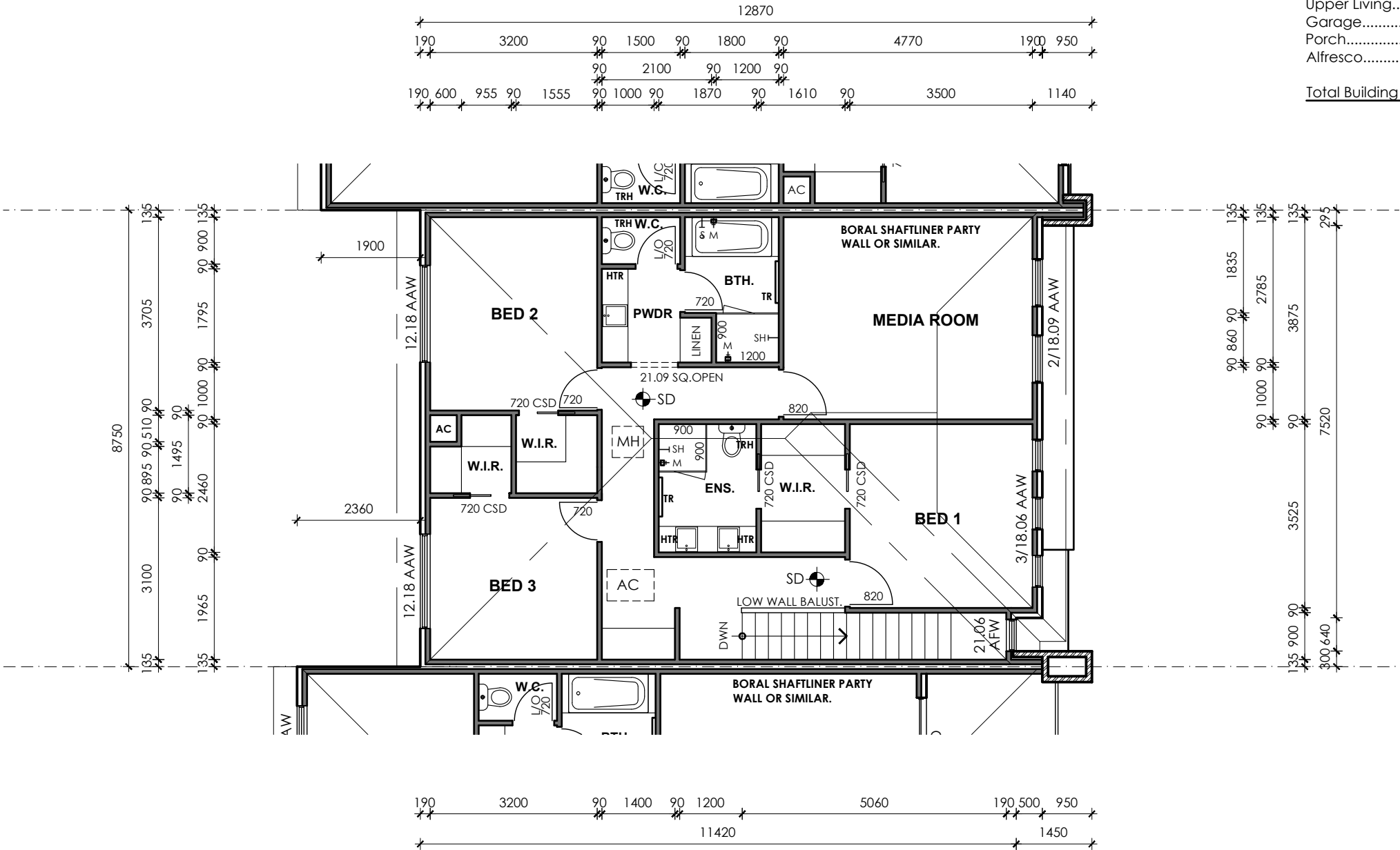
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CEILING NOTE

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HTR TOWEL RING - BOTTOM OF RING 350MM ABOVE BENCH
TR TOWEL RAIL
TRH TOILET ROLL HOLDER AT 0.75 AFL
→ SH SHOWER HEAD (CENTERED) AT 2.0M AFL
M MIXER TAP (SHOWER) AT 1.1M AFL
→ S BATH SPOUT
M BATH MIXER TAP
M MIXER TAP (SINK) HANDLE FACING RHS AS VIEWED FROM KITCHEN
NOTE: GLASS SHOWER SHELF TO BE CENTERED BETWEEN SIDES OF SHOWER ON SHOWER HEAD WALL - SET 1.5M AFL.

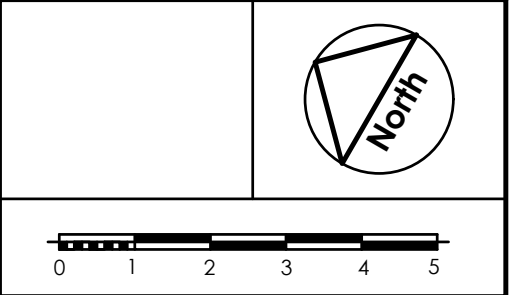
UPPER FLOOR - RES.2

SCALE 1:100

PROPOSED 3 X TWO STOREY ROW DWELLINGS	
CLIENT NAME: BOJACK	WIND SPEED: N1 - 28M/S
SITE ADDRESS: 638 BURBRIDGE ROAD WEST BEACH	ROOF PITCH: 22°47'
COUNCIL: CHARLES STURT TITLING: TORRENS	CORROSION ZONE: N/A
	BUSHFIRE: N/A

 architectural drafting service		
M: 0432 364 496 E: quadrant@outlook.com.au P.O. Box 127 Woodcroft SA 5162 ABN: 86 881 455 409		
DRAWING TITLE: UPPER FLOOR - R2 SCALE: 1:100	JOB No: QD1268 SHEET: 7 OF 17	DRAWN BY: RP ISSUE DATE: 11.02.2019

REVISION	DESCRIPTION	DATE



<div>WORKING DRAWINGS Issued for Construction</div>	
Client.....Builder.....Date / /	

RES 3:

Building Areas: (m²)

Site Area..... 229.0

Lower Living..... 89.7

Upper Living.....104.4

Garage..... 41.6

Porch..... 7.2

Alfresco..... 18.8

Balcony..... 5.5

Total Building Area: 267.2

NOTES:
STORMWATER FROM HOME TO BE DIRECTED VIA UNDERGROUND SEALED 90mm PVC PIPE TO PROPOSED RAINWATER TANK (min 1000 litres) THEN TO COUNCIL STREET WATER TABLE VIA UNDERGROUND SEALED 90mm PVC STORMWATER PIPE WITH FLEXIBLE CONNECTIONS WHERE REQUIRED

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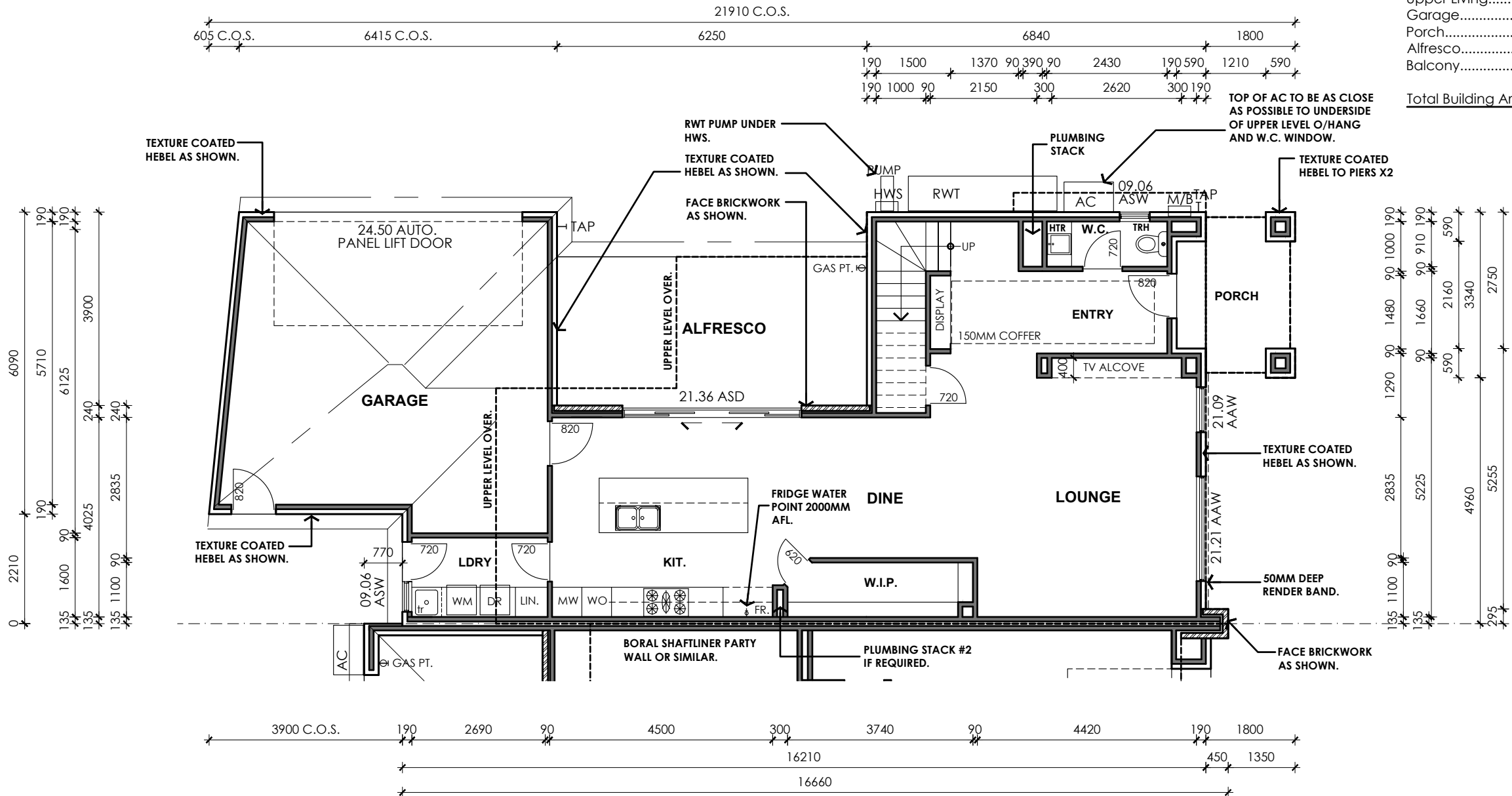
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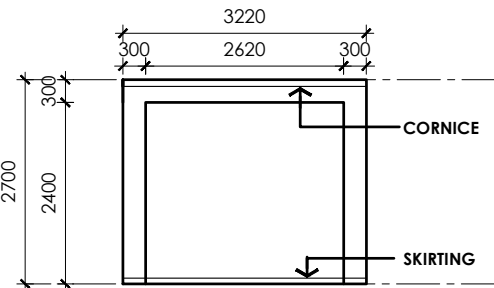


- HTR TOWEL RING - BOTTOM OF RING 350MM ABOVE BENCH
- TR TOWEL RAIL
- TRH TOILET ROLL HOLDER AT 0.75 AFL
- SH SHOWER HEAD (CENTERED) AT 2.0M AFL
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- M BATH MIXER TAP
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NOTE: GLASS SHOWER SHELF TO BE CENTERED BETWEEN SIDES OF SHOWER ON SHOWER HEAD WALL - SET 1.5M AFL.

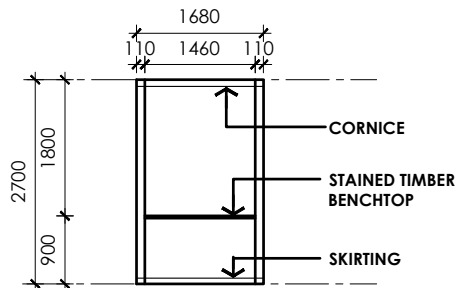
LOWER FLOOR - RES.3

SCALE 1:100



TV ALCOVE

SCALE 1:100



STAIR DISPLAY

SCALE 1:100

PROPOSED 3 X TWO STOREY ROW DWELLINGS

CLIENT NAME:
BOJACK

WIND SPEED:
N1 - 28M/S

ROOF PITCH:
22°47'

CORROSION ZONE:
N/A

BUSHFIRE:
N/A

COUNCIL: CHARLES STURT
TITLING: TORRENS

QUADRANT DRAFTING
architectural drafting service

M: 0432 364 496
E: quadrant@outlook.com.au
P.O. Box 127 Woodcroft SA 5162

ABN: 86 881 455 409

DRAWING TITLE:
LOWER FLOOR - R3

SCALE: 1:100

JOB No:
QD1268

DRAWN BY:
RP

SHEET:
8 OF 17

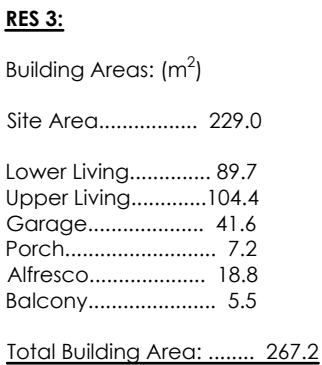
ISSUE DATE:
11.02.2019

REVISION	DESCRIPTION	DATE

North

WORKING DRAWINGS
Issued for Construction

Client.....Builder.....Date / /



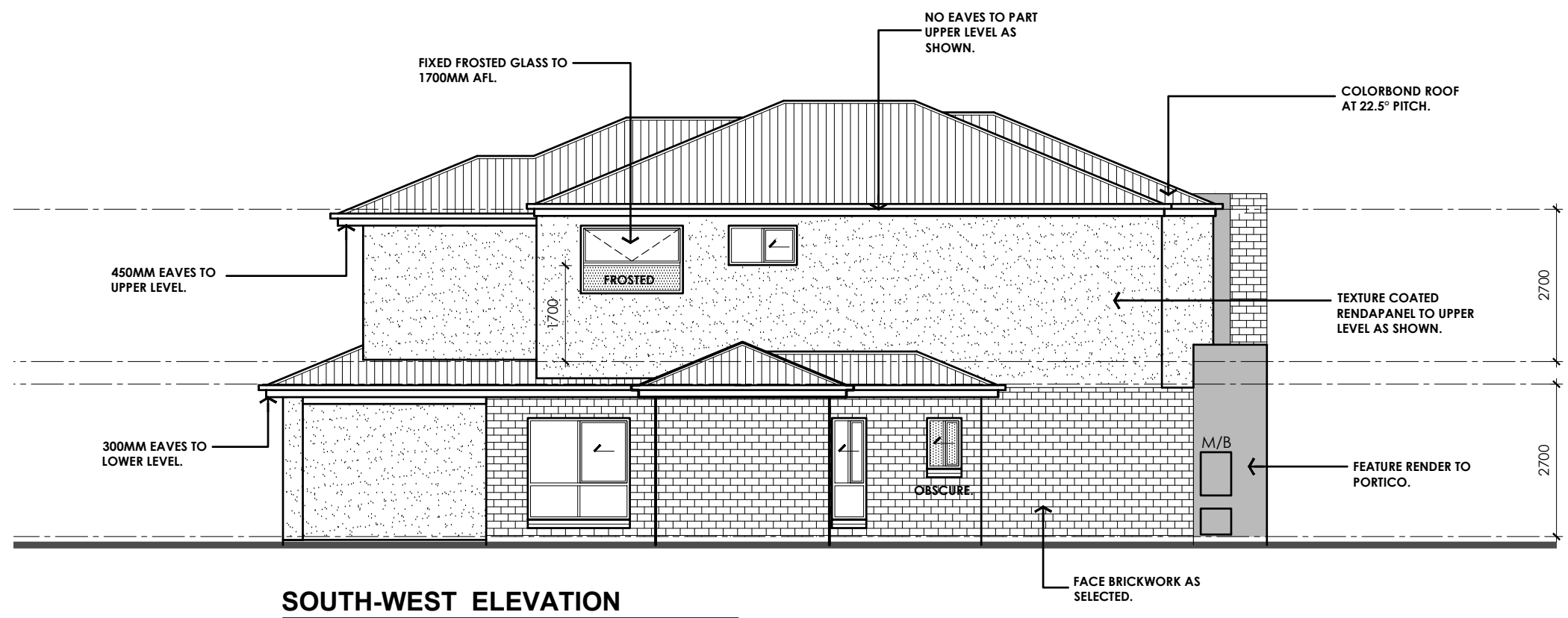
ALL INTERNAL DIMENSIONS ARE TIMBER
FRAME DIMENSIONS ONLY, FINISHED
ROOM SIZES WILL VARY SLIGHTLY TO
ACCOMMODATE PLASTERBOARD, TILES
ETC.

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BACK BLOCK ALL JOINTS IN GARAGE CEILINGS


- NOTE: GLASS SHOWER SHELF TO BE CENTERED BETWEEN SIDES
OF SHOWER ON SHOWER HEAD WALL - SET 1.5M AFL.

SCALE 1 : 100


<p>WORKING DRAWINGS Issued for Construction</p>
<p>Client.....Builder.....Date / /</p>



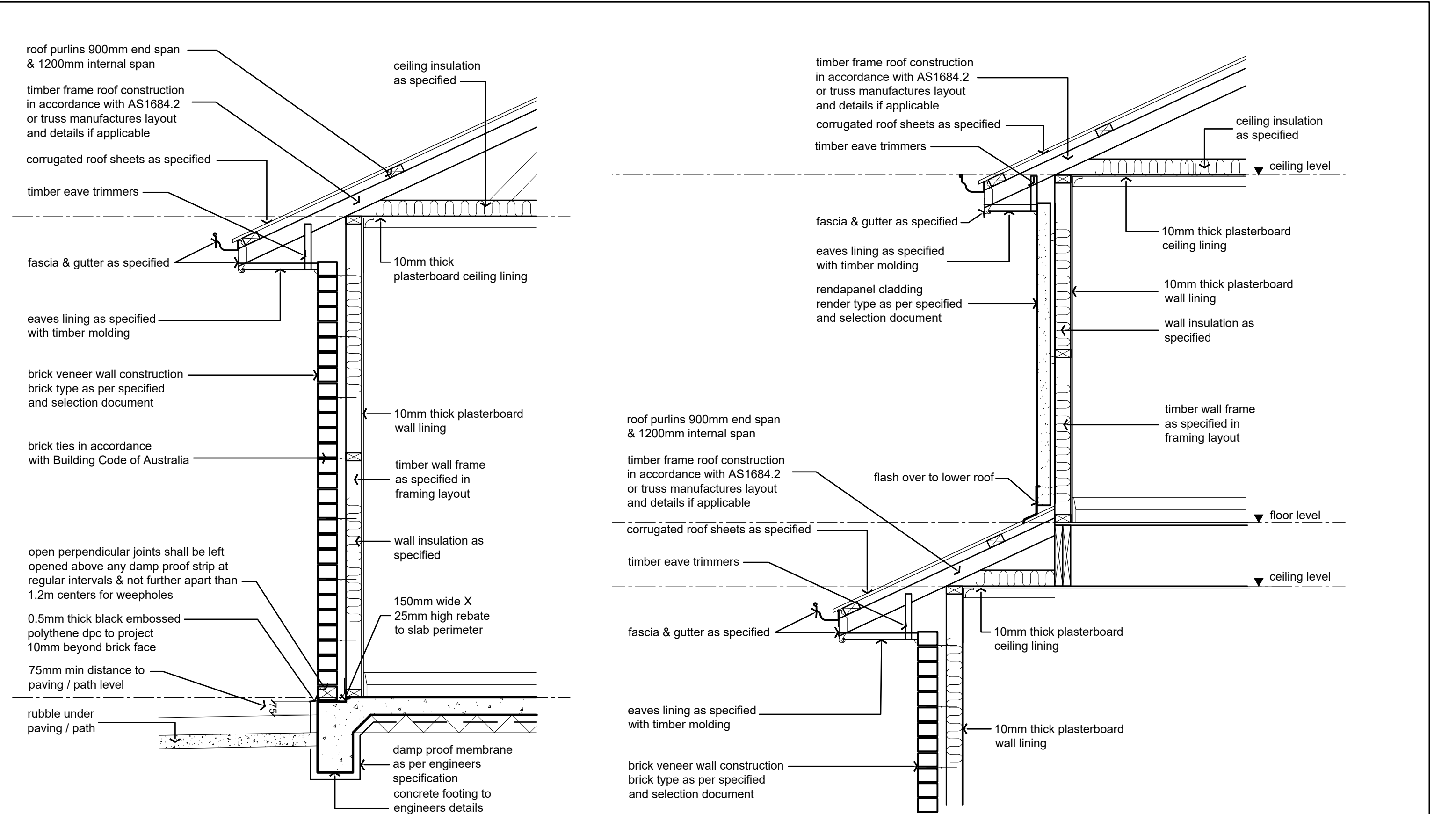
PROPOSED 3 X TWO STOREY ROW DWELLINGS	
CLIENT NAME: BOJACK	WIND SPEED: N1 - 28M/S
SITE ADDRESS: 638 BURBRIDGE ROAD WEST BEACH	ROOF PITCH: 22°47'
COUNCIL: CHARLES STURT TITLING: TORRENS	CORROSION ZONE: N/A
	BUSHFIRE: N/A

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ABN: 86 881 455 409	
DRAWING TITLE: COMMON ELEVATIONS	JOB No: QD1268
SCALE: 1:100	DRAWN BY: RP
	ISSUE DATE: 11.02.2019
	SHEET: 11 OF 17

REVISION	DESCRIPTION	DATE

WORKING DRAWINGS Issued for Construction
Client.....Builder.....Date / /



TYPICAL LOWER WALL SECTION - BRICK VENEER

SCALE 1 : 20

PROPOSED 3 X TWO STOREY ROW DWELLINGS

CLIENT NAME:
BOJACK

SITE ADDRESS:
638 BURBRIDGE ROAD
WEST BEACH

COUNCIL: CHARLES STURT
TITLING: TORRENS

WIND SPEED:
N1 - 28M/S

ROOF PITCH:
22°47'

CORROSION ZONE:
N/A

BUSHFIRE:
N/A

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architectural drafting service

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P.O. Box 127 Woodcroft SA 5162

ABN: 86 881 455 409

DRAWING TITLE:
SECTIONS 1
SCALE: 1:20

JOB No:
QD1268

SHEET:
12 OF 17

DRAWN BY:
RP

ISSUE DATE:
11.02.2019

REVISION	DESCRIPTION	DATE

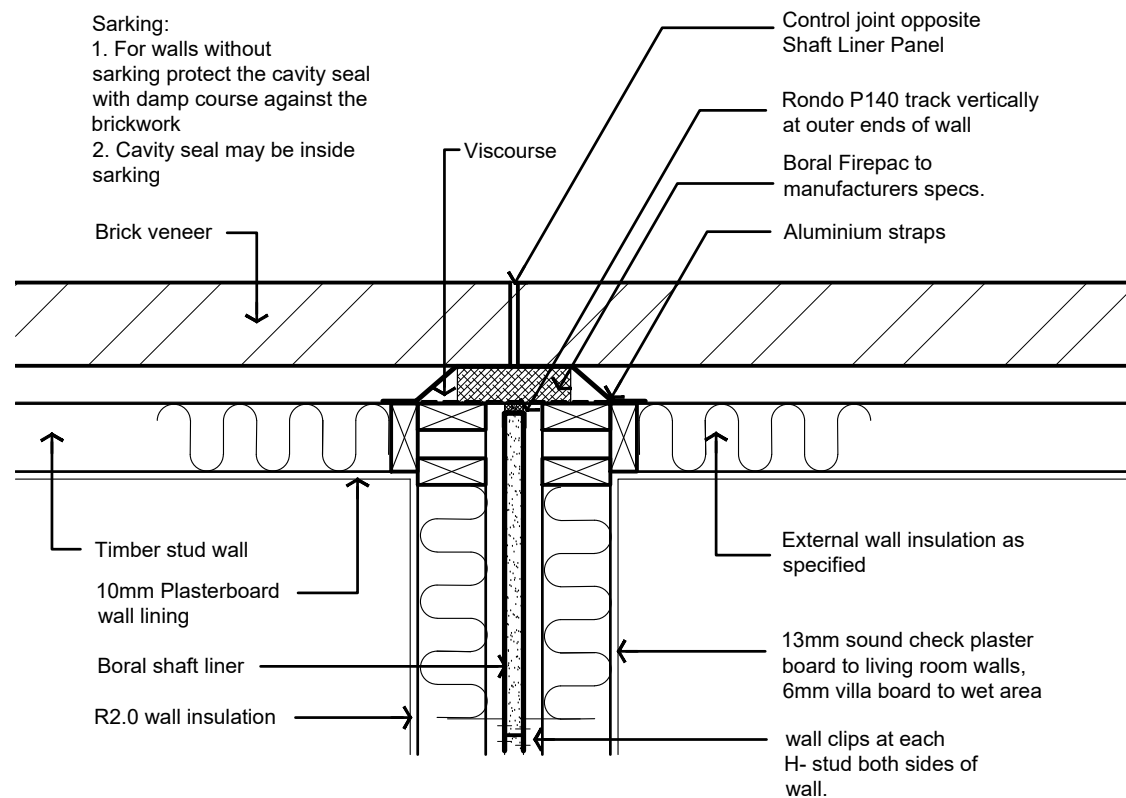
INSET UPPER WALL SECTION

SCALE 1 : 20

WORKING DRAWINGS

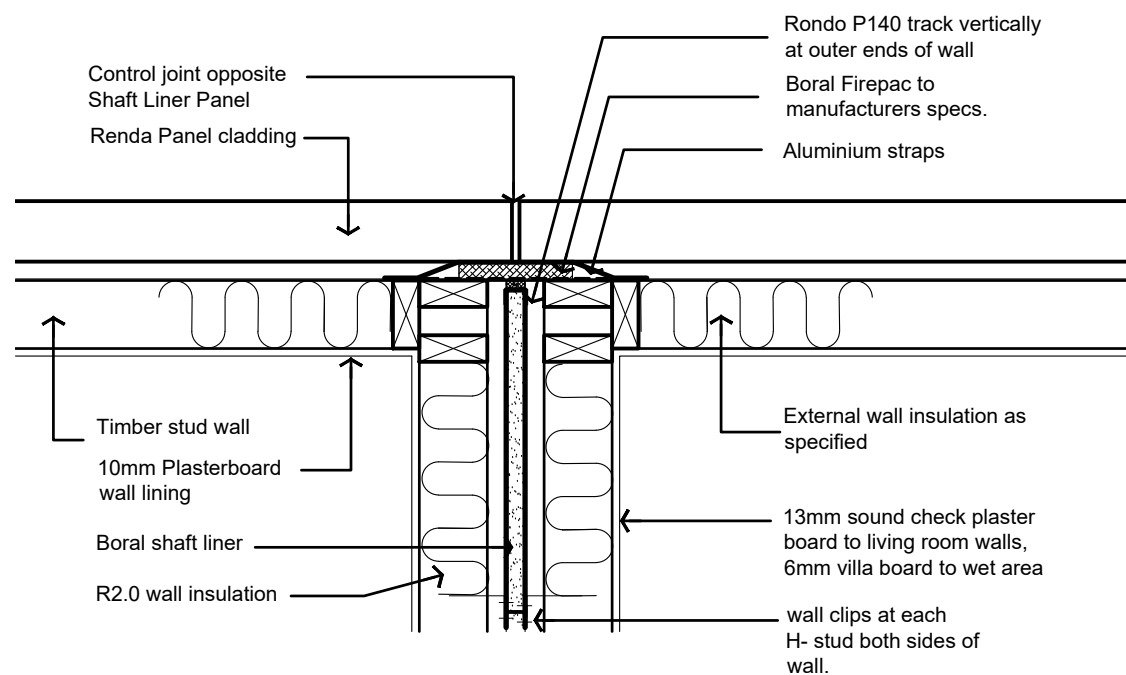
Issued for Construction

Client.....Builder.....Date / /



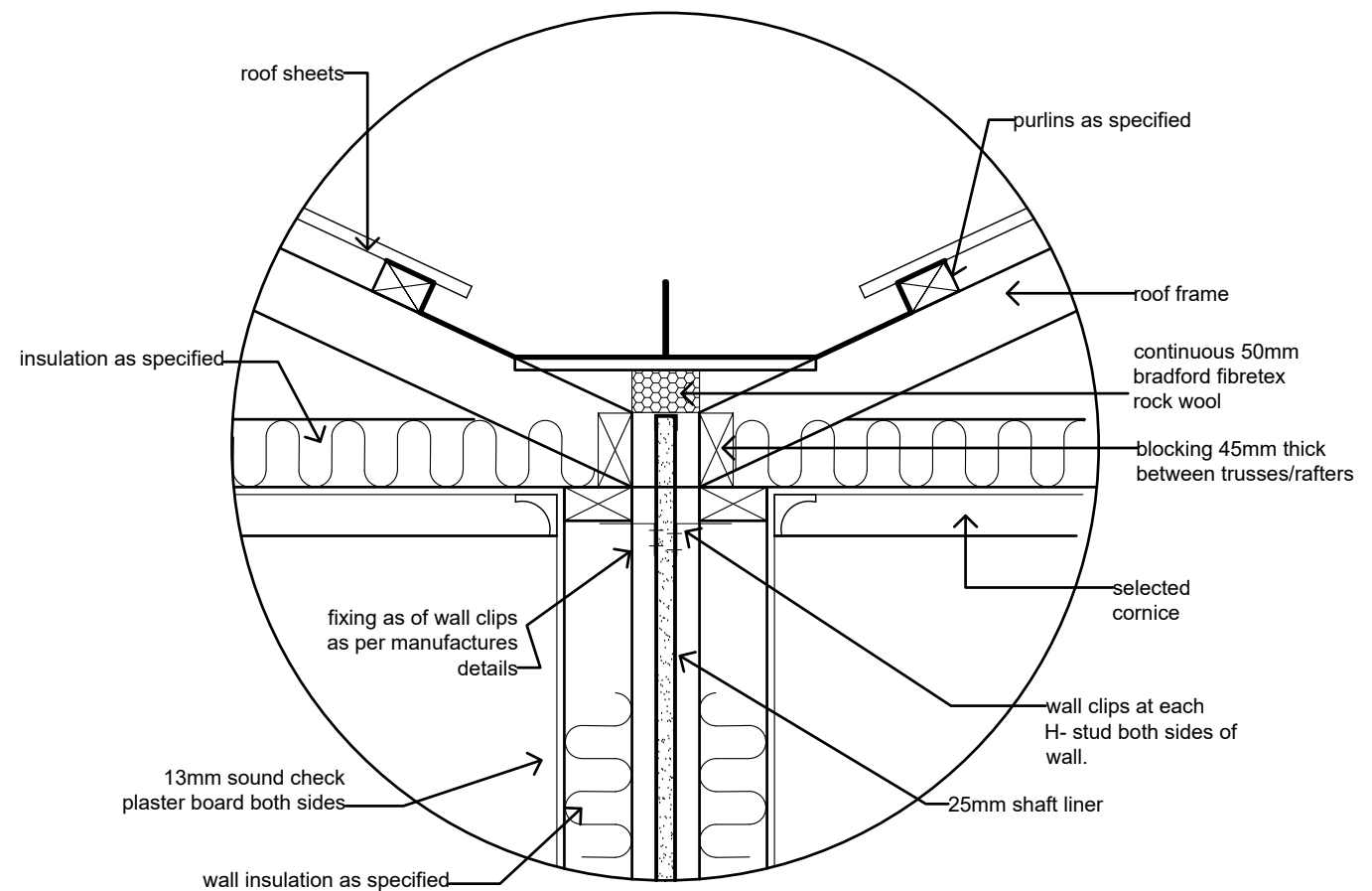
PARTY WALL JUNCTION - LOWER LEVEL

SCALE 1 : 10



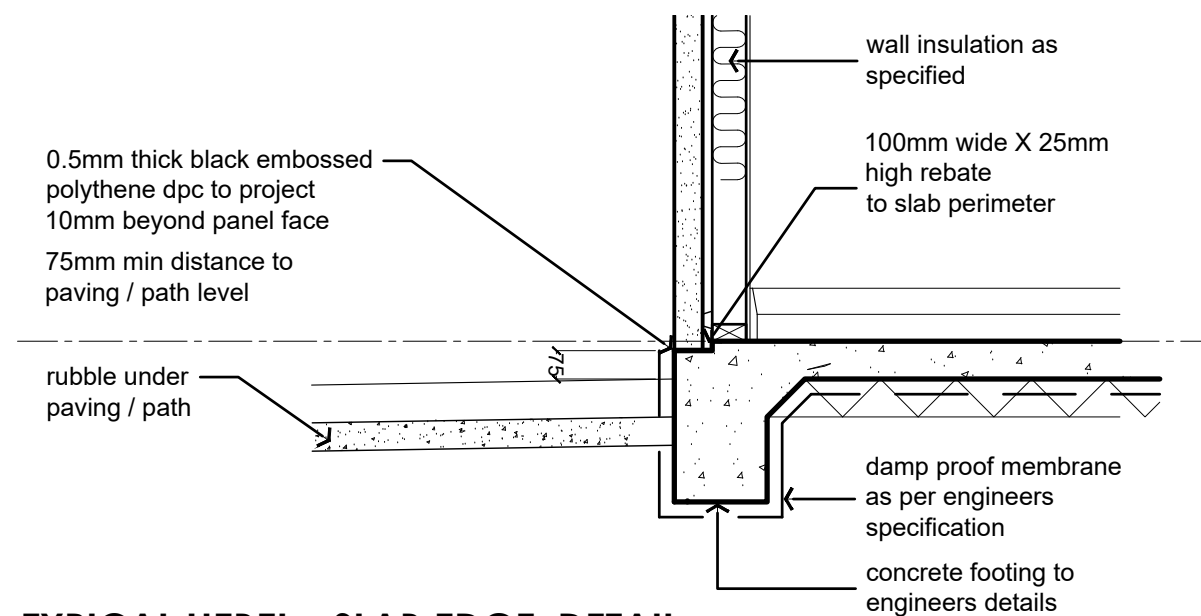
PARTY WALL JUNCTION - UPPER LEVEL

SCALE 1 : 10



TYPICAL PARTY WALL - GUTTER DETAIL


SCALE 1 : 10



TYPICAL HEBEL - SLAB EDGE DETAIL

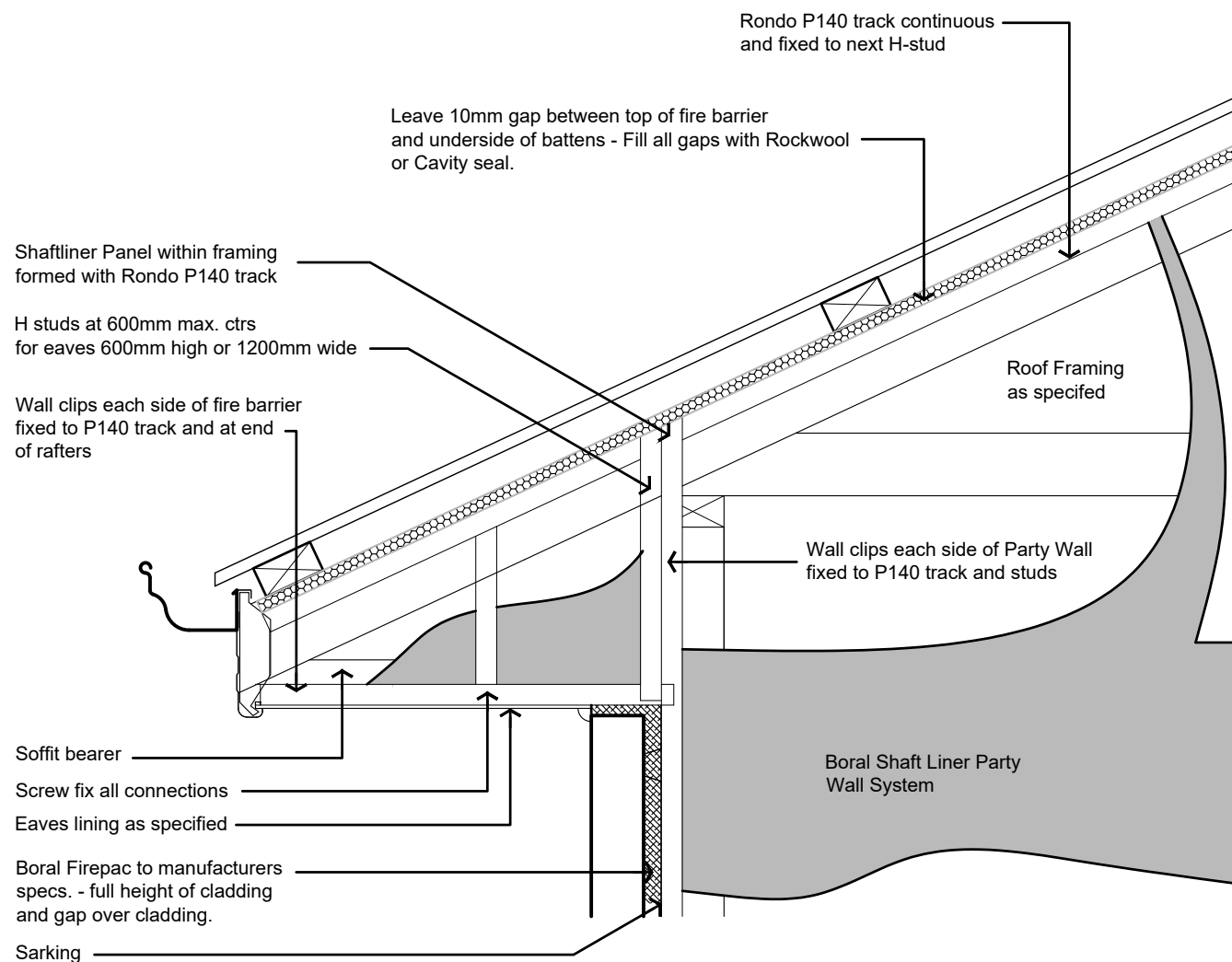
SCALE 1 : 20

PROPOSED 3 X TWO STOREY ROW DWELLINGS	
CLIENT NAME: BOJACK	WIND SPEED: N1 - 28M/S
SITE ADDRESS: 638 BURBRIDGE ROAD WEST BEACH	ROOF PITCH: 22°47'
COUNCIL: CHARLES STURT TITLING: TORRENS	CORROSION ZONE: N/A
	BUSHFIRE: N/A

	
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ABN: 86 881 455 409	
DRAWING TITLE: SECTIONS 2	JOB No: QD1268
SCALE: 1:10 / 1:20	DRAWN BY: RP
	SHEET: 13 OF 17
	ISSUE DATE: 11.02.2019

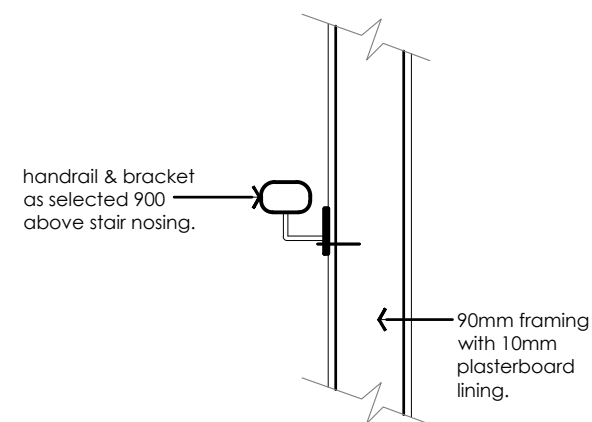
REVISION	DESCRIPTION	DATE

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Client.....	Builder.....Date / /



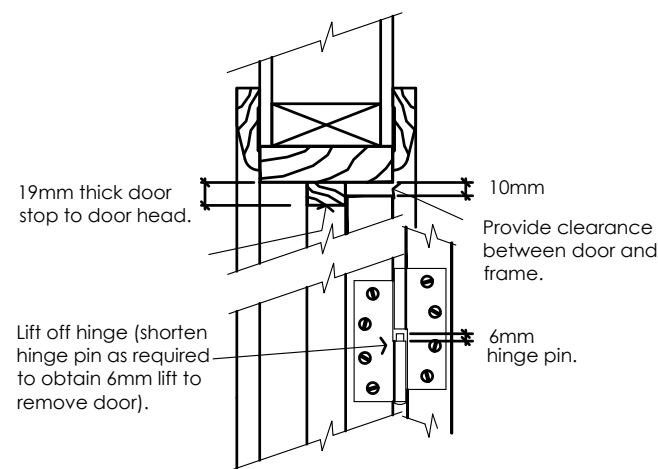
TYPICAL EAVES - PARTY WALL DETAIL

SCALE 1 : 10



Typical Handrail Detail


SCALE: 1:20



Lift Off Hinge Detail - WC Door

SCALE: N.T.S.

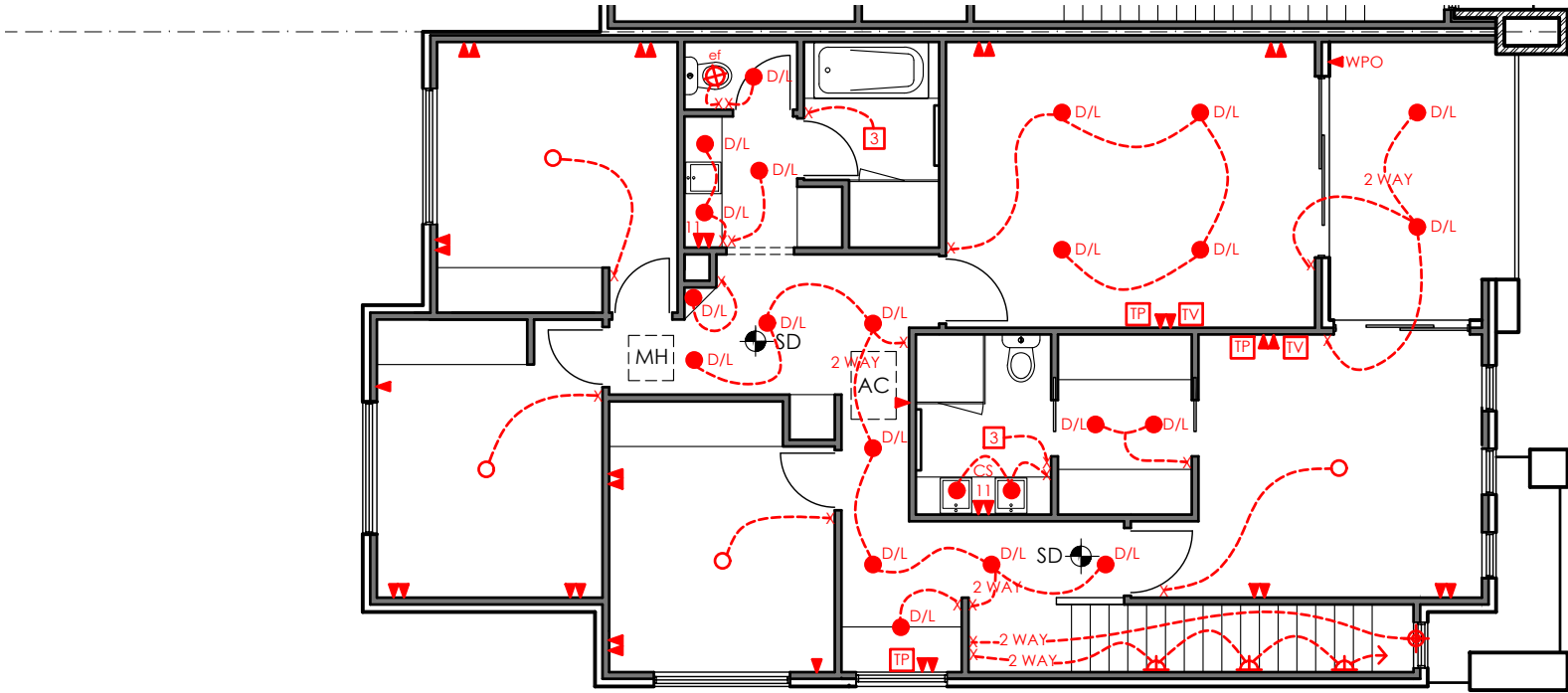
PROPOSED 3 X TWO STOREY ROW DWELLINGS	
CLIENT NAME: BOJACK	WIND SPEED: N1 - 28M/S
SITE ADDRESS: 638 BURBRIDGE ROAD WEST BEACH	ROOF PITCH: 22°47'
COUNCIL: CHARLES STURT TITLING: TORRENS	CORROSION ZONE: N/A
	BUSHFIRE: N/A

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DRAWING TITLE: SECTIONS 3	JOB No: QD1268	DRAWN BY: RP
SCALE: 1:10 / 1:20	SHEET: 14 OF 17	ISSUE DATE: 11.02.2019

REVISION	DESCRIPTION	DATE

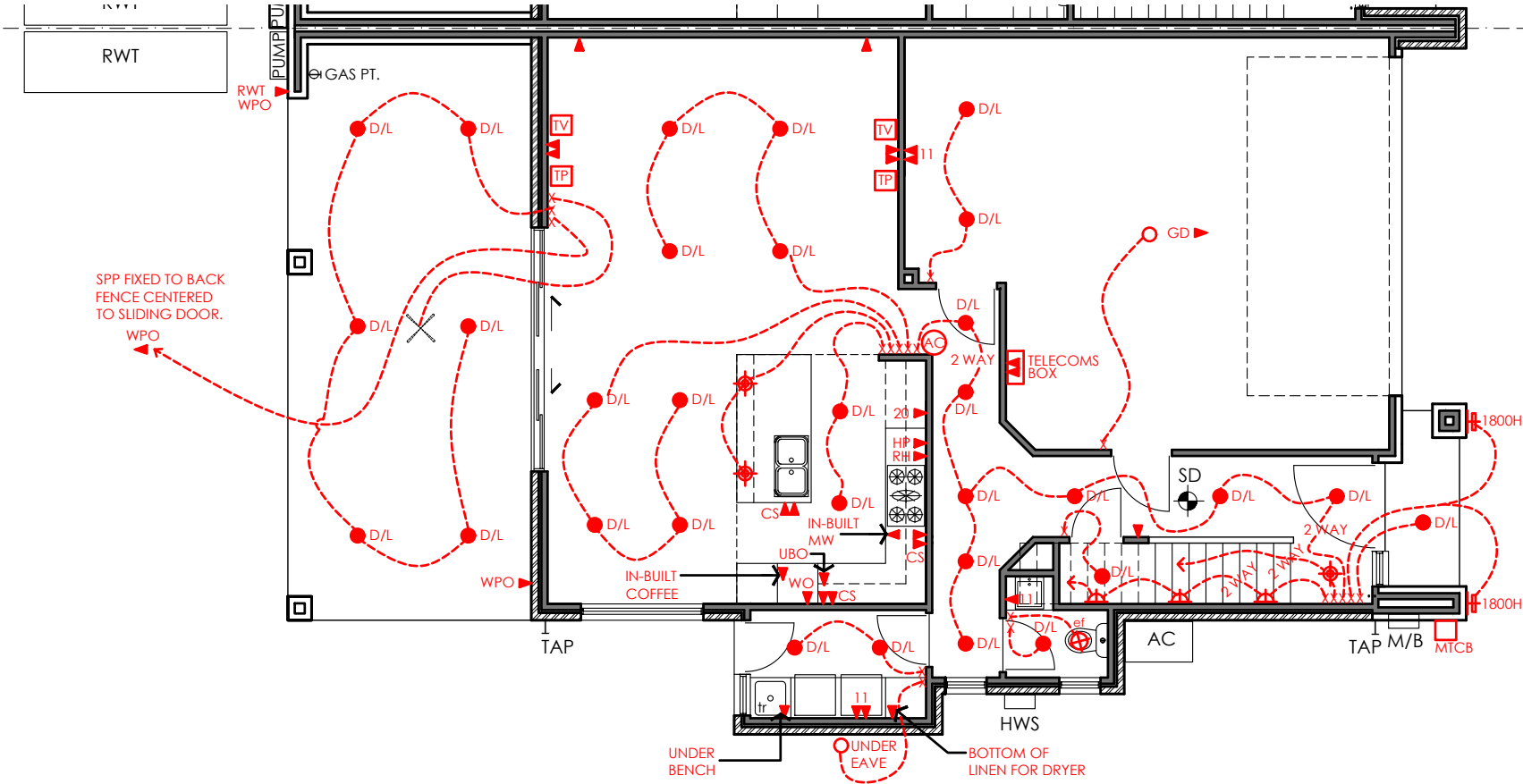
<div> WORKING DRAWINGS Issued for Construction </div>	
Client.....	Builder.....Date / /

ELECTRICAL LEGEND	
	light point
	2-way
	3-way
	dimmer
	downlight 240v
	wall mounted light
	hanging light
	up/down wall light
	switch point
	2 heat / fan / light
	4 heat fan light
	ceiling fan
	ceiling fan with light
	exhaust fan
	a/con. controller
	smoke detector
	"maddison" telecommunications box
	single power point
	double power point
	clipsal "saturn" power point (white)
	single power point 1100AFL
	double power point 1100AFL
	external Waterproof Power Point
	TV point
	dishwasher
	rangehood
	microwave
	Garage Door
	wall oven
	under bench oven
	hot plate
	spa
	air conditioning
	telstra
	hot water system



UPPER FLOOR - RES.1

SCALE 1:100



LOWER FLOOR - RES.1

SCALE 1:100

PROPOSED 3 X TWO STOREY ROW DWELLINGS	
CLIENT NAME: BOJACK	WIND SPEED: N1 - 28M/S
SITE ADDRESS: 638 BURBRIDGE ROAD WEST BEACH	ROOF PITCH: 22°47'
COUNCIL: CHARLES STURT TITLING: TORRENS	CORROSION ZONE: N/A
	BUSHFIRE: N/A

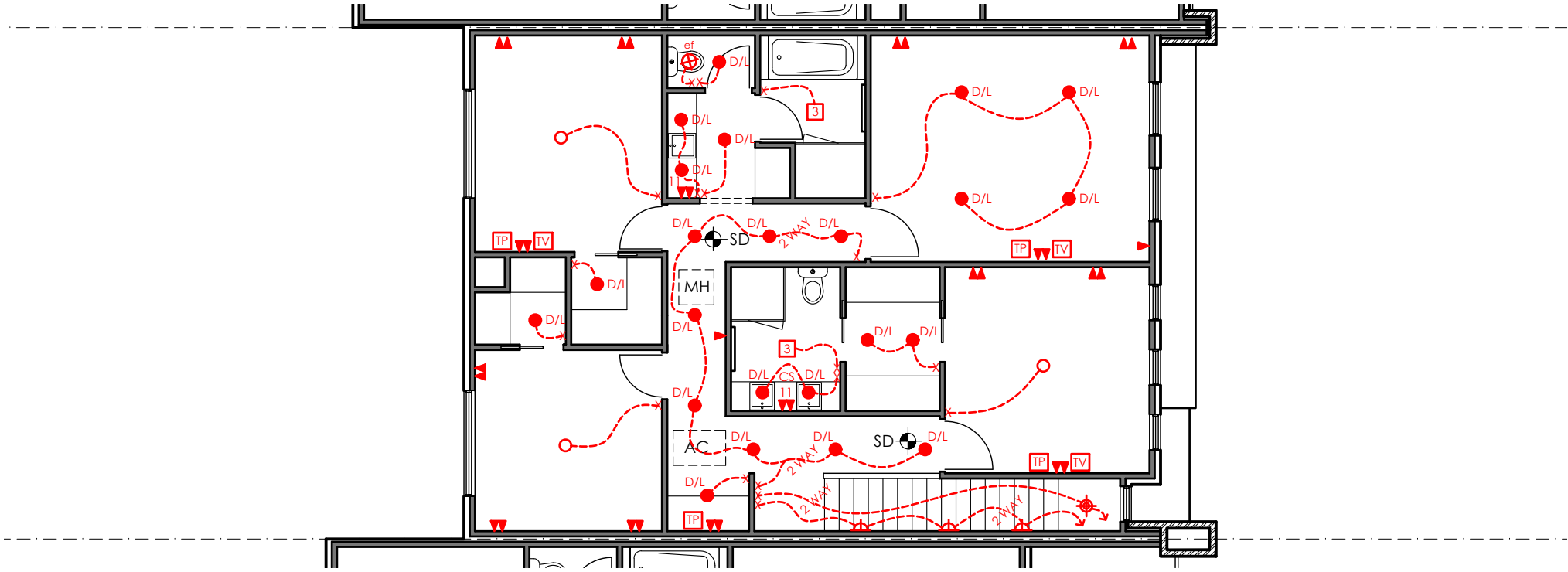
M: 0432 364 496 E: quadrant@outlook.com.au P.O. Box 127 Woodcroft SA 5162 ABN: 86 881 455 409	
DRAWING TITLE: ELECTRICAL - R1	JOB No: QD1268
SCALE: 1:100	DRAWN BY: RP
	SHEET: 15 OF 17
	ISSUE DATE: 11.02.2019

REVISION	DESCRIPTION	DATE

WORKING DRAWINGS
Issued for Construction

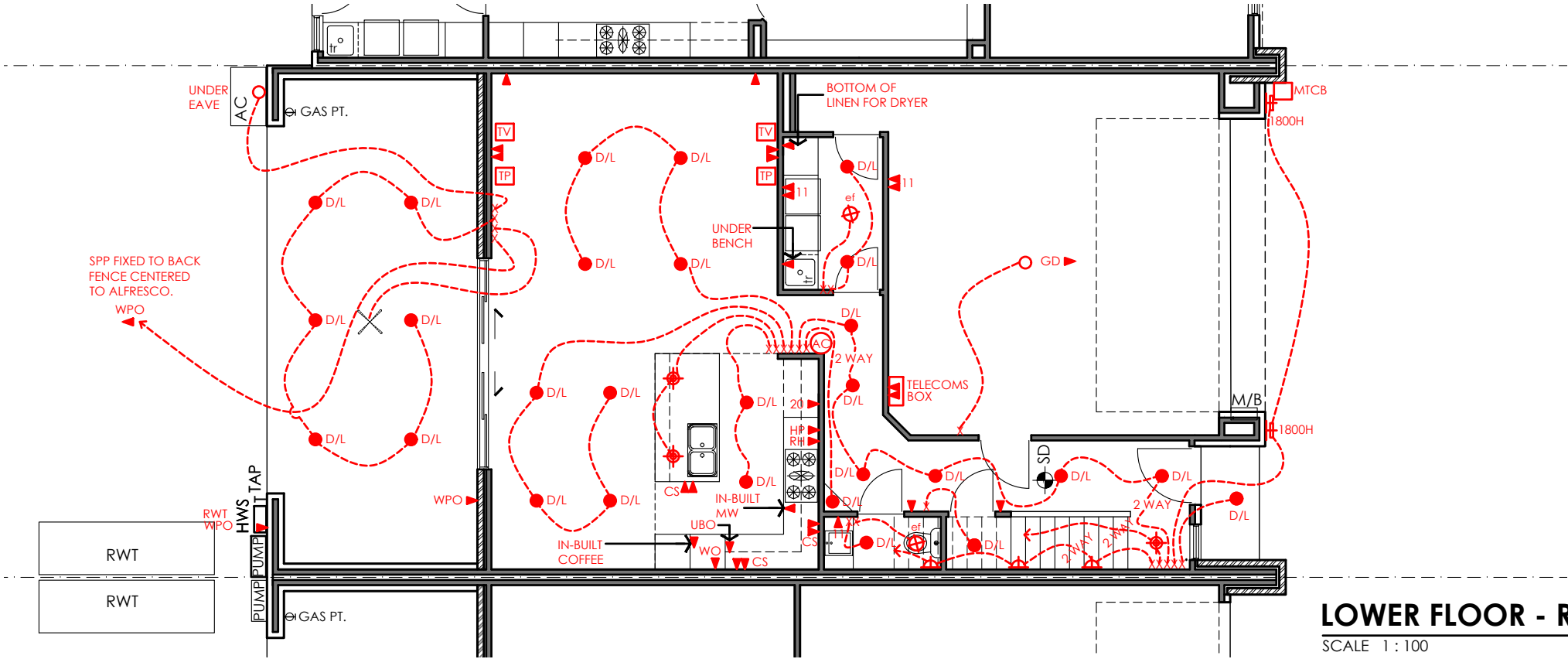
Client.....Builder.....Date / /

ELECTRICAL LEGEND	
	light point
	2-way
	3-way
	dimmer
	downlight 240v
	wall mounted light
	hanging light
	up/down wall light
	switch point
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	4 heat fan light
	ceiling fan
	ceiling fan with light
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	a/con. controller
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	double power point 1100AFL
	external Waterproof Power Point
	TV point
	dishwasher
	rangehood
	microwave
	Garage Door
	wall oven
	under bench oven
	hot plate
	spa
	air conditioning
	telstra
	hot water system



UPPER FLOOR - RES.2

SCALE 1:100



LOWER FLOOR - RES.2

SCALE 1:100

PROPOSED 3 X TWO STOREY ROW DWELLINGS	
CLIENT NAME: BOJACK	WIND SPEED: N1 - 28M/S
SITE ADDRESS: 638 BURBRIDGE ROAD WEST BEACH	ROOF PITCH: 22°47'
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	BUSHFIRE: N/A

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DRAWING TITLE: ELECTRICAL - R2	JOB No: QD1268
SCALE: 1:100	DRAWN BY: RP
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WORKING DRAWINGS
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